


APPROVAL INDEX	
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**FACADE PERSPECTIVE IS DEPICTIVE ONLY AND MAY VARY ONCE APPLIED TO ACTUAL CUSTOM DESIGN.**  
**ARTIST'S IMPRESSION ONLY NOT TO BE REFERRED TO FOR CONSTRUCTION PURPOSES.**  
**MATERIALS SHOWN ARE DEPICTIVE ONLY AND MAY NOT REFLECT THE SELECTED FINISHES.**

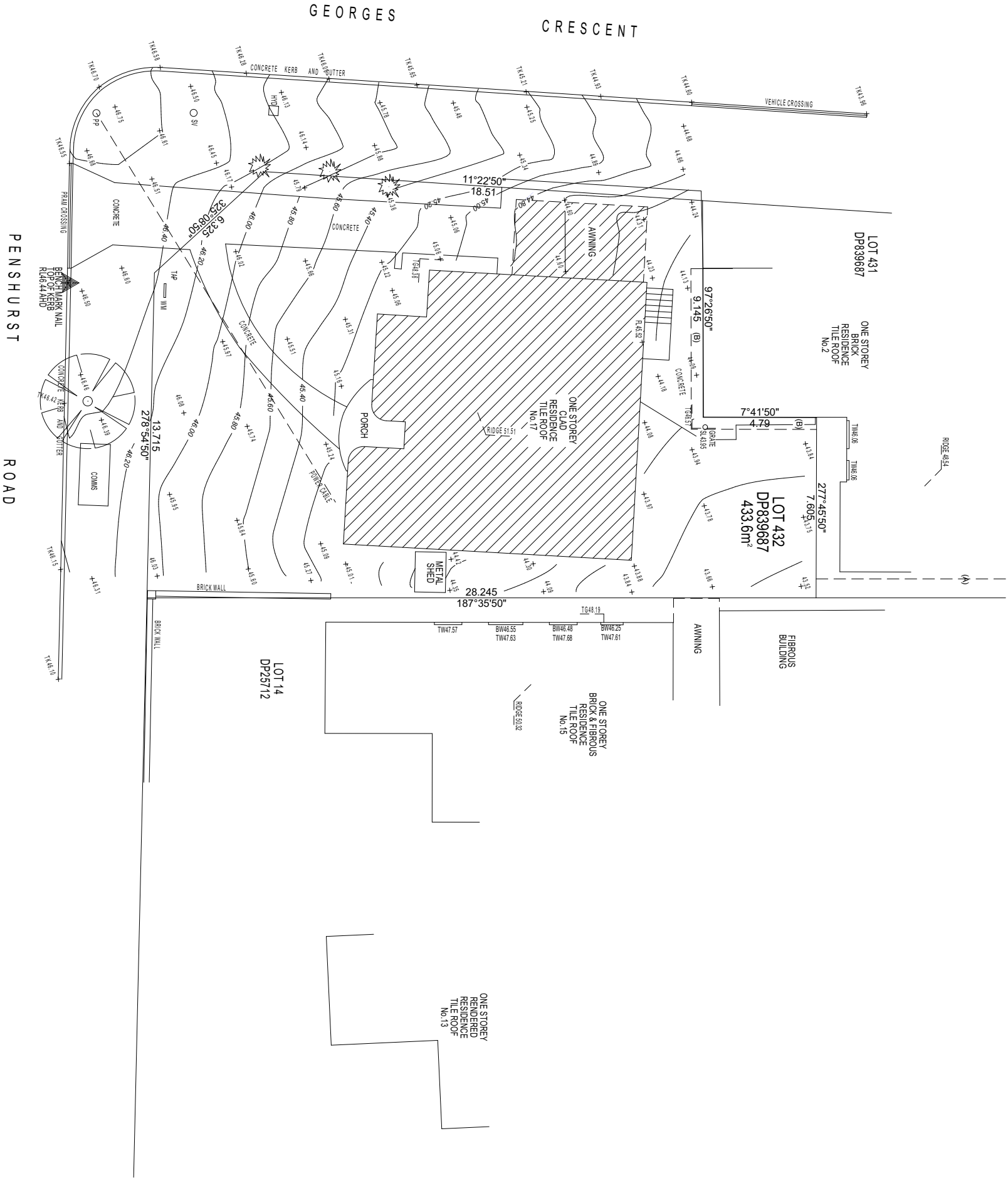
<div> FAIRMONT HOMES NSW</div> <div>fairmontnsw.com.au 1/79 Lasso Road, Gregory Hills NSW 2557 02 4601 1981</div>	APPROVAL PLANS		GENERAL BUILDING NOTES		REVISION - DATE - DESCRIPTION - INITIAL		Perspectives		LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196	
	Signed _____		<div>1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.</div> <div>2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.</div> <div>3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.</div> <div>5. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.</div> <div>6. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.</div> <div>7. IF ENGINEER DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>8. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.</div> <div>9. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.</div> <div>10. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT AUSTRALIAN CONSTRUCTION CODE AND THE AUSTRALIAN STANDARDS.</div> <div>11. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY.</div>		REV A - 03/08/22 - SALES/SITING PLAN 1 - AP		DESIGN: CUSTOM		DP 839687	
	Date _____				REV A1 - 15/11/22 - SALES AMENDMENTS - AP		FACADE: CUSTOM		CLIENT QIAN	
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					REV B2 - 08/12/22 - SALES AMENDMENTS - SC		SCALE: 1:100 @ A3		LGA CANTERBURY/BANKSTOWN	
					REV B3 - 19/01/23 - CONTRACT PLAN REV - AP		DATE Wednesday, 12 April 2023		LODGEMENT DA	
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		REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP								

\* THIS DETAIL SURVEY IS NOT A LAND SURVEY AS DEFINED BY THE SURVEYING ACT, 2002.  
\* DETAILS SHOWN HAVE BEEN TAKEN FROM A REGISTERED SURVEY AND ARE NOT TO BE USED FOR THE AREA SHOWN HAS BEEN CALCULATED FROM THE REGISTERED LAND DIMENSIONS ARE  
\* DIMENSIONS AND LOCATIONS ARE  
\* SUBJECT TO SURVEY INVESTIGATION.  
\* VISIBLE AND ACCESSIBLE SERVICES HAVE ONLY BEEN LOCATED, AND NOT ALL SERVICES HAVE BEEN LOCATED. IT WAS NOT NECESSARY TO INVESTIGATE SERVICES WITHIN THE AREA SHOWN.  
\* PROVIDERS MUST BE IDENTIFIED PRIOR TO ANY DESIGN, EXCAVATION AND/OR CONSTRUCTION WORKS.

CDC		
NEAREST BUILDINGS WITHIN 4m FRONT SET BACKS		
PROPERTY	SET BACK (m)	
15 PENShurst ROAD	7.57	
13 PENShurst ROAD	7.90	

TITLE NOTES :

RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
2 DP839687 EASEMENT FOR SEWERAGE PURPOSES OVER EXISTING LINE OF PIPES APPURTENANT TO THE LAND ABOVE DESCRIBED  
3 AT 1259 MORTGAGE TO WESTPAC BANKING CORPORATION  
THE ABOVE NOTIFICATIONS HAVE NOT BEEN INVESTIGATED.



APPROX POSITION OF  
BOUNDARY SERIES

APPROX POSITION OF  
BOUNDARY SERIES

(A) EASEMENT FOR SEWERAGE PURPOSES OVER EXISTING LINE OF PIPES (APPROX POSITION) (DP834889)  
(B) PROPOSED EASEMENT FOR OVERHANGING EAVES AND GUTTER 0.5 WIDE (DOES NOT SEEM TO BE REGISTERED ON THE SUBJECT TITLE)

REVISION	DATE	DETAILS
A	14/12/2021	1ST ISSUE
B	17/03/2022	ADJ. BLD No.13

UNITED SURVEYORS 2021  
REPRODUCTION WITHOUT WRITTEN  
APPROVAL IS STRICTLY PROHIBITED

LEGEND
PP - POWER POLE SV - STOP VALVE WM - WATERMETER HD - HYDRANT COMMS - COMMS PIT

DIAL 1100  
BEFORE 10/12/21

PLAN OF: DETAIL AND LEVELS  
AT: 17 PENShurst ROAD  
ROSELANDS  
BEING: LOT 432 IN DP839687  
CLIENT: LILY HOMES

## DA SCHEDULE

### SITE DETAILS

LGA CONTROL Canterbury DCP 2012  
LOT NUMBER/DP NUMBER 432 / 839687  
ZONE & LOT WIDTH R3 17.775m  
SITE AREA 433.60 m<sup>2</sup>

### DWELLING AREAS

GROUND FLOOR LIVING 122.52 m<sup>2</sup>  
FIRST FLOOR LIVING 108.32 m<sup>2</sup>  
PORCH 6.14 m<sup>2</sup>  
PATIO 0.00 m<sup>2</sup>  
FRONT BALCONY 6.14 m<sup>2</sup>  
REAR BALCONY 0.00 m<sup>2</sup>  
GARAGE 35.46 m<sup>2</sup>  
OUTDOOR LEISURE 0.00 m<sup>2</sup>  
TOTAL : 278.58 m<sup>2</sup>  
DRIVE AREA 48.20 m<sup>2</sup>  
ROOF AREA (drained to tank) 199.20 m<sup>2</sup>

### SITE COVERAGE

 (Single storey/Lower floor)

MAXIMUM SITE COVERAGE 260.16 m<sup>2</sup>/ 60.00%  
ACTUAL SITE COVERAGE 157.98 m<sup>2</sup>/ 36.43%

### FLOOR SPACE RATIO

MAXIMUM FLOOR SPACE/FSR 216.80 m<sup>2</sup>/ 50.00%  
ACTUAL FLOOR SPACE/FSR 212.55 m<sup>2</sup>/ 49.02%

\*AS PER CANTERBURY  
LEP 2012

### LANDSCAPING AREAS

MINIMUM LANDSCAPING 65.04 m<sup>2</sup>/ 15.00%  
ACTUAL LANDSCAPING 160.32 m<sup>2</sup>/ 36.97%

\*>2.5m DIM

### PRIVATE OPEN SPACE

MINIMUM POS 0.00 m<sup>2</sup>/ 0.0x0.0  
ACTUAL POS 24.00 m<sup>2</sup>/ 6.0x4.0

\*SUBJECT TO COUNCIL  
APPROVAL

### BUILDING HEIGHT

MAXIMUM HEIGHT 8.50 m  
ACTUAL HEIGHT 7.60 m

\*AS PER CANTERBURY  
LEP 2012



**LOT 432, #17 PENHURST ROAD,  
AREA: 433.60m<sup>2</sup>**

### 'H<sub>2</sub>' CLASS SLAB

AS PER SITE CLASSIFICATION REPORT | REF: AWT 74743 | DATED 22/02/23 - REVA

### KNOCK-DOWN REBUILD SITE

### NATURAL GAS AVAILABLE

### DRAFTING NOTE:

DECKING TO BE DONE BY OWNER AFTER  
HANDOVER

### DRAFTING NOTE:

PLEASE REFER TO STRUCTURAL ENGINEER'S  
STRUCTURAL PLANS.  
ISSUE A, DATED 10/03/23, REF PST230154



**EngineeringStudio**  
Civil & Structural

Phone: (02) 8020 2960  
Email: info@engineeringstudio.com.au  
Web: www.engineeringstudio.com.au

Postal Address  
PO Box 7191  
BAULKHAM HILLS NSW 2153

### DRAFTING NOTE:

PLEASE REFER TO HYDRAULICS ENGINEER'S  
STORMWATER PLANS.  
ISSUE A, DATED 24/02/23, REF PSW23083



**PRIME  
ENGINEERING  
CONSULTANTS**

Suite 1, 6 WELD STREET, PRESTONS NSW 2170  
M: 0450 877 463  
M: 0428 088 893  
www.primeec.com.au  
admin@primeec.com.au

### APPROVAL PLANS

Signed \_\_\_\_\_

Date \_\_\_\_\_

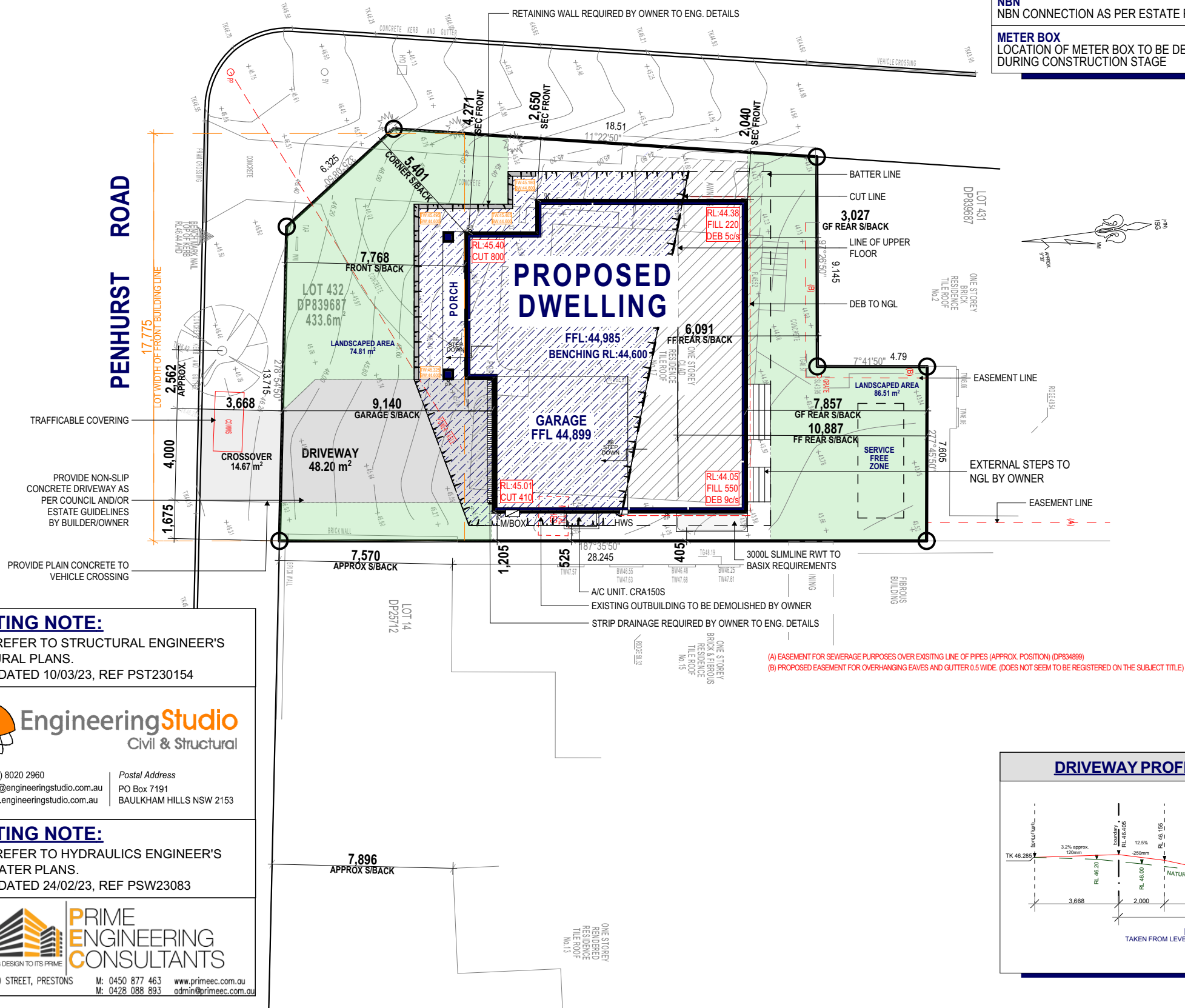
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## GEORGES CRESCENT



### OVERHEAD POWERLINE PROTECTION

WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY

**SURFACE PICKUPS** TO BE PROVIDED WHERE REQUIRED. TO BE  
CONFIRMED ON SITE BY PLUMBER

**POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES**  
INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE

### NBN

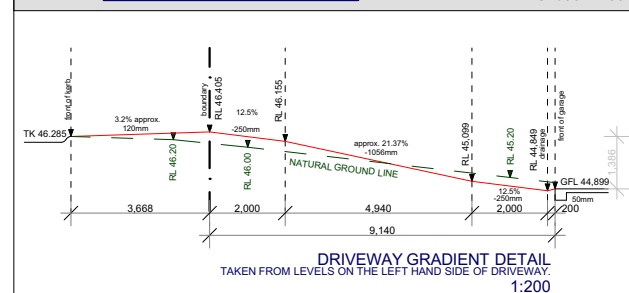
NBN CONNECTION AS PER ESTATE REQUIREMENT

### METER BOX

LOCATION OF METER BOX TO BE DETERMINED BY ELECTRICIAN ON SITE  
DURING CONSTRUCTION STAGE

### DRIVEWAY PROFILE

AS2890.1-2004



## Site Plan

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 3

SCALE: 1:200 @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196

DP 839687

CLIENT QIAN

JOB NUMBER 2135

LGA CANTERBURY/BANKSTOWN

LODGEMENT DA



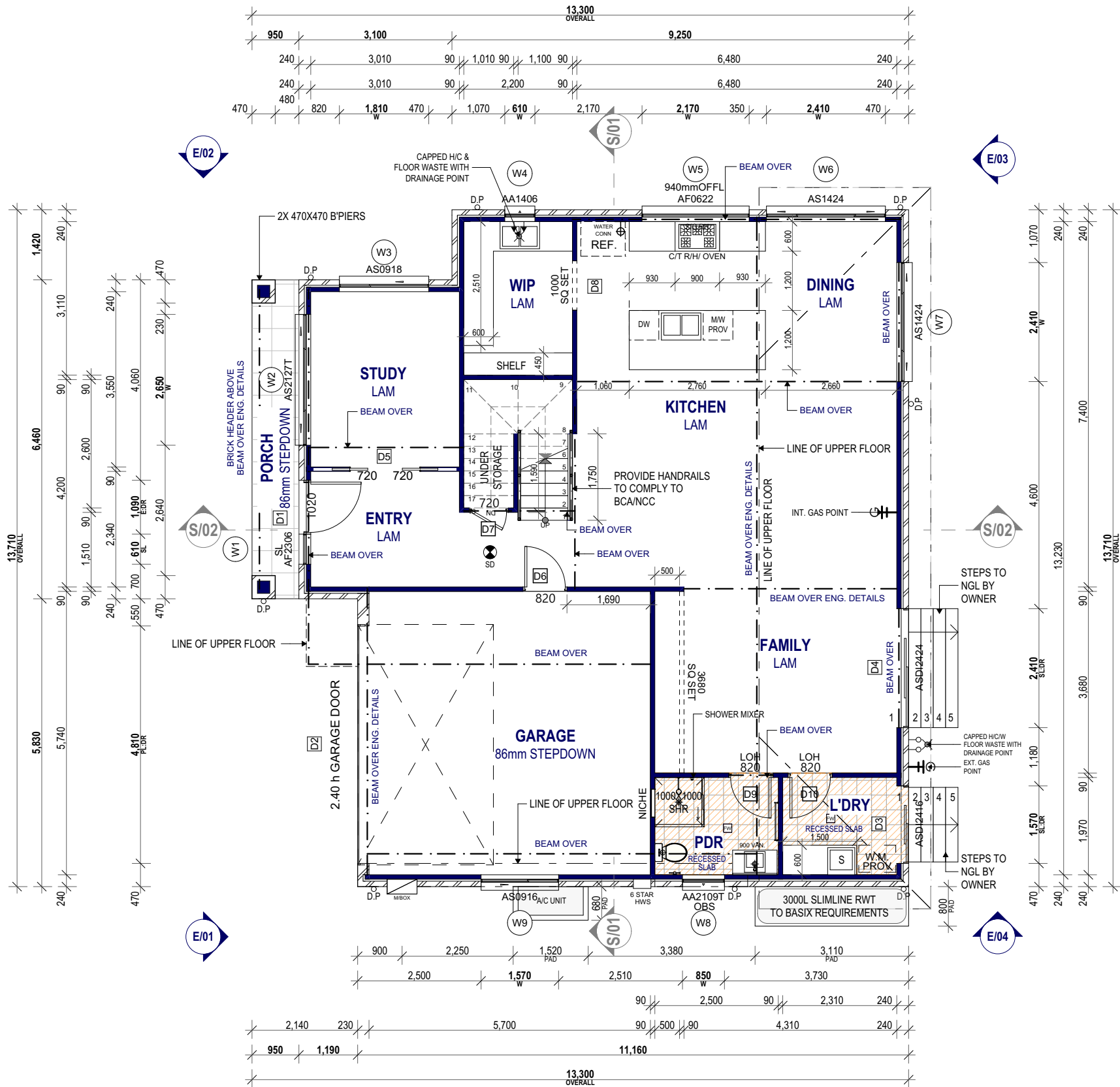
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BRICK VENEER & STEEL FRAMED CONSTRUCTION
LIFT OFF HINGES TO ALL WET AREAS AS PER BCA/NCC
MECHANICAL VENTILATION TO ALL WET AREAS AS PER BCA/NCC
RECESSED FLOORING TO ALL WET AREAS - 40mm S/DOWN
REFER TO TENDER FOR JOINERY INCLUSIONS
BIAX SLAB



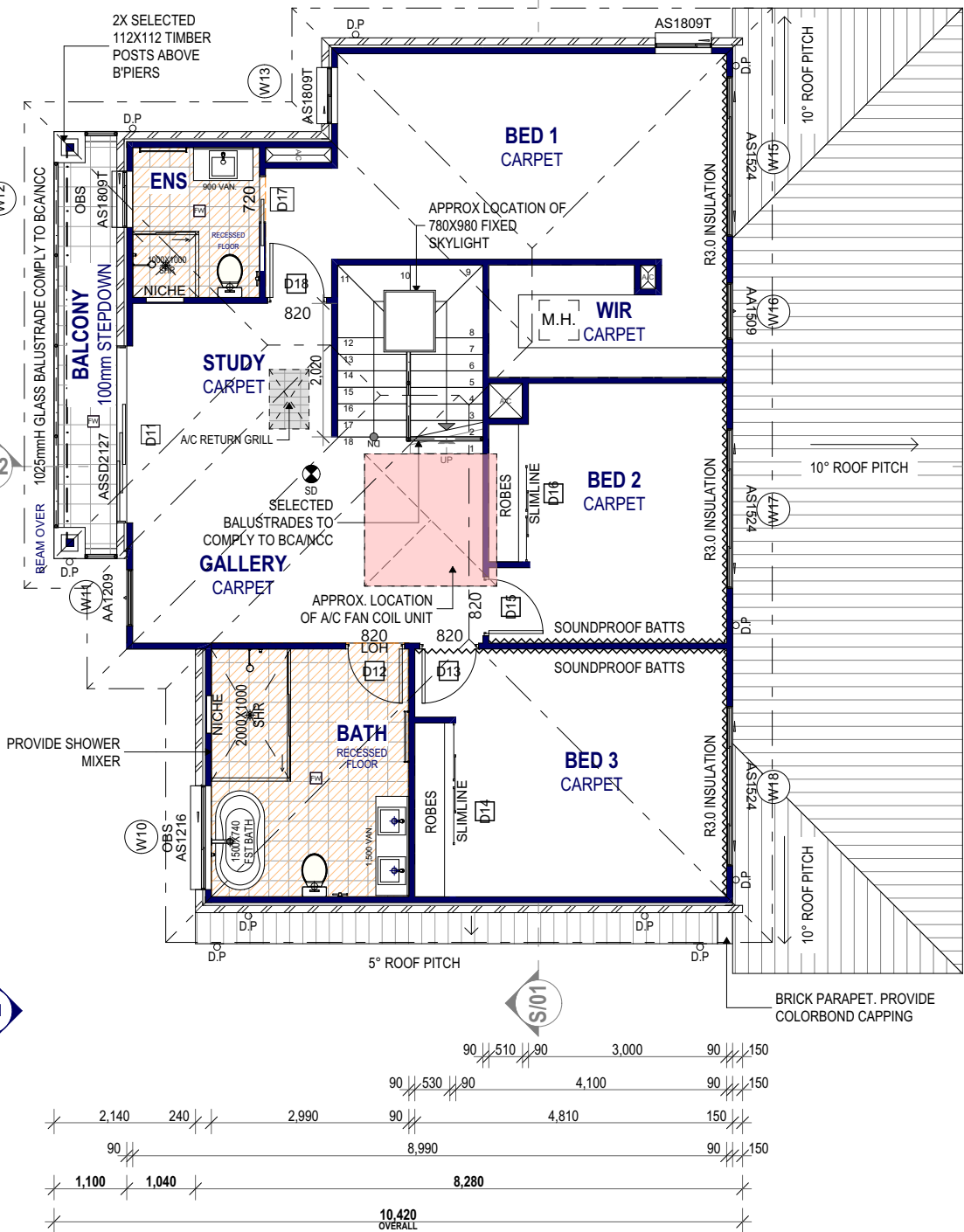
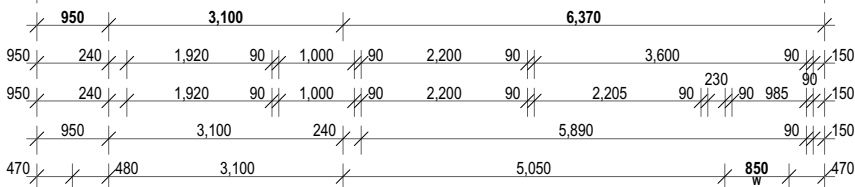
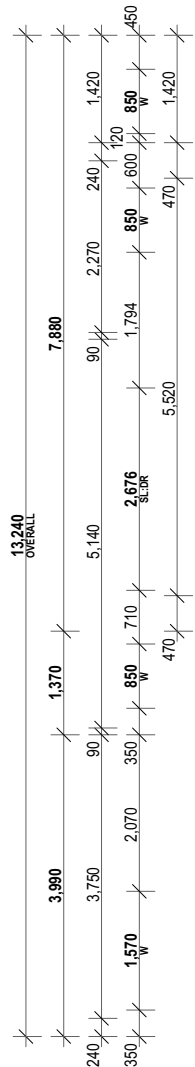
Area Calculations	
Zone Name	Area
FRONT BALCONY	6.14
GARAGE	35.46
LOWER FLOOR	122.52
PORCH	6.14
UPPER FLOOR	108.32
	<b>278.58 m<sup>2</sup></b>

**GROUND FLOOR PLAN**  
Scale 1:100

**DRAFTING NOTE:**  
TWO-STOREY REQUIREMENT - ADDITIONAL A/C DUCT BOX FRAMING MAY BE REQUIRED FOR DUCTING TO SERVICE GROUND FLOOR SPACES.

<div></div> <div>FAIRMONT HOMES NSW</div> <div>fairmontnsw.com.au</div> <div>1/79 Lasso Road, Gregory Hills NSW 2557</div> <div>02 4601 1981</div>	APPROVAL PLANS		GENERAL BUILDING NOTES		REVISION - DATE - DESCRIPTION - INITIAL		Ground Floor Plan		LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196	
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						DATE Wednesday, 12 April 2023		LODGEMENT DA		

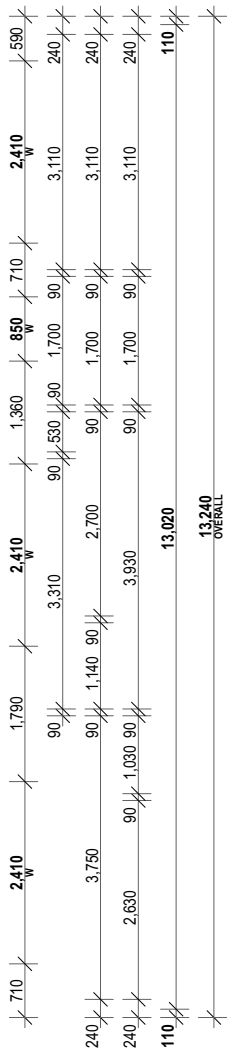
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MECHANICAL VENTILATION TO ALL WET AREAS AS PER BCA
RECESSED FLOORING TO ALL WET AREAS - 40mm S/DOWN
REFER TO TENDER FOR JOINERY INCLUSIONS
PROVIDE R3.0 INSULATION TO BED 1/2/3 EXTERNAL WALL
SOUNDPROOF BATTS TO BED 2/3 WALLS



## FIRST FLOOR PLAN

Scale 1:100

Area Calculations	
Zone Name	Area
FRONT BALCONY	6.14
GARAGE	35.46
LOWER FLOOR	122.52
PORCH	6.14
UPPER FLOOR	108.32
	<b>278.58 m<sup>2</sup></b>



### DRAFTING NOTE:

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#### APPROVAL PLANS

Signed \_\_\_\_\_

Date \_\_\_\_\_

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REV A1 - 15/11/22 - SALES AMENDMENTS - AP  
REV B1 - 30/11/22 - CONTRACT PLAN 1/AMENDMENTS - AP  
REV B2 - 08/12/22 - SALES AMENDMENTS - SC  
REV B3 - 19/01/23 - CONTRACT PLAN REV - AP  
REV B4 - 24/01/23 - WINDOW AMENDMENT - AP  
REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

### First Floor Plan

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 5

SCALE: 1:100 @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196

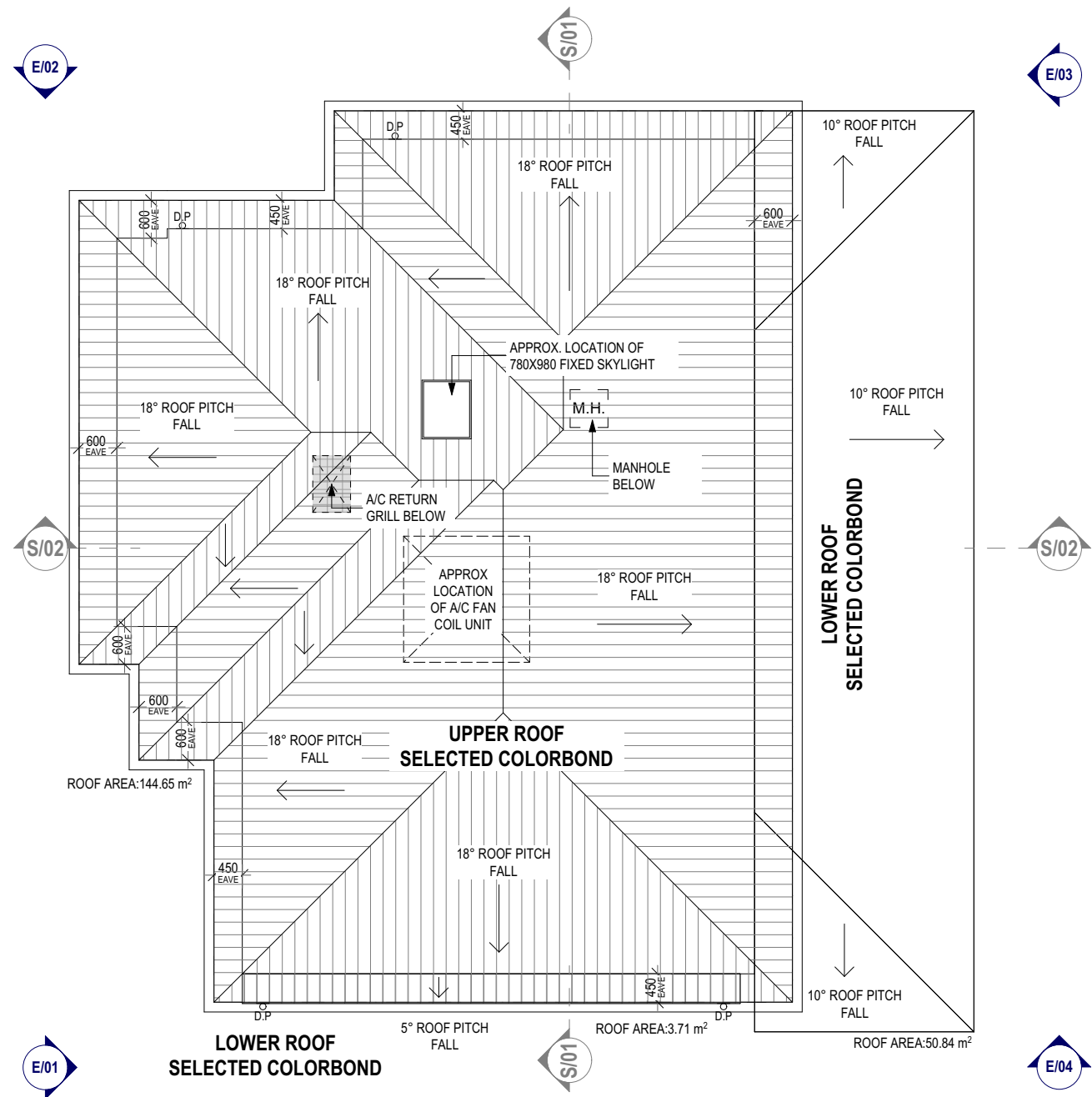
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CLIENT QIAN

JOB NUMBER 2135

LGA CANTERBURY/BANKSTOWN

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**ROOF PLAN**  
Scale 1:100

APPROVAL PLANS	
Signed	
Date	
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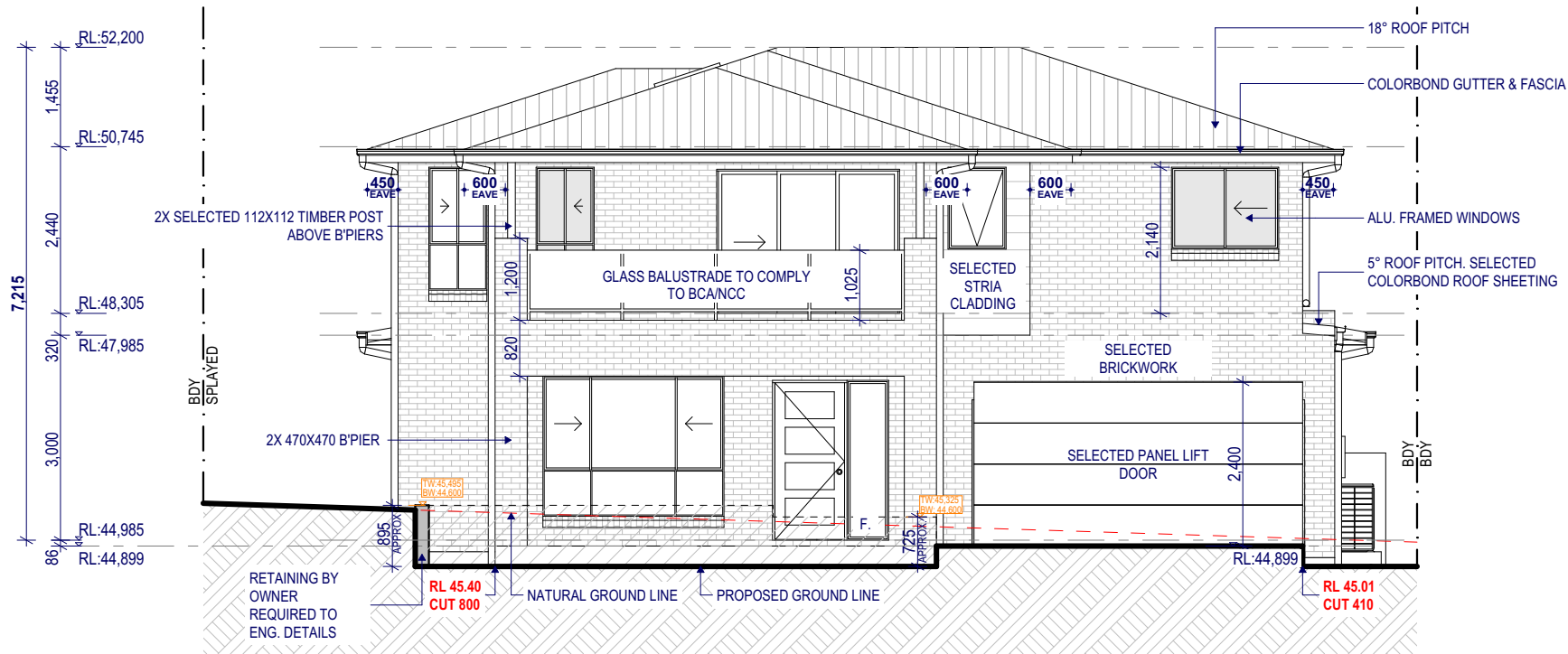
Roof Plan	LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196
DESIGN: CUSTOM	DP 839687
FACADE: CUSTOM	CLIENT QIAN
SHEET NO: APPROVAL- 6	JOB NUMBER 2135
SCALE: @ A3	LGA CANTERBURY/BANKSTOWN
DATE Wednesday, 12 April 2023	LODGEMENT DA



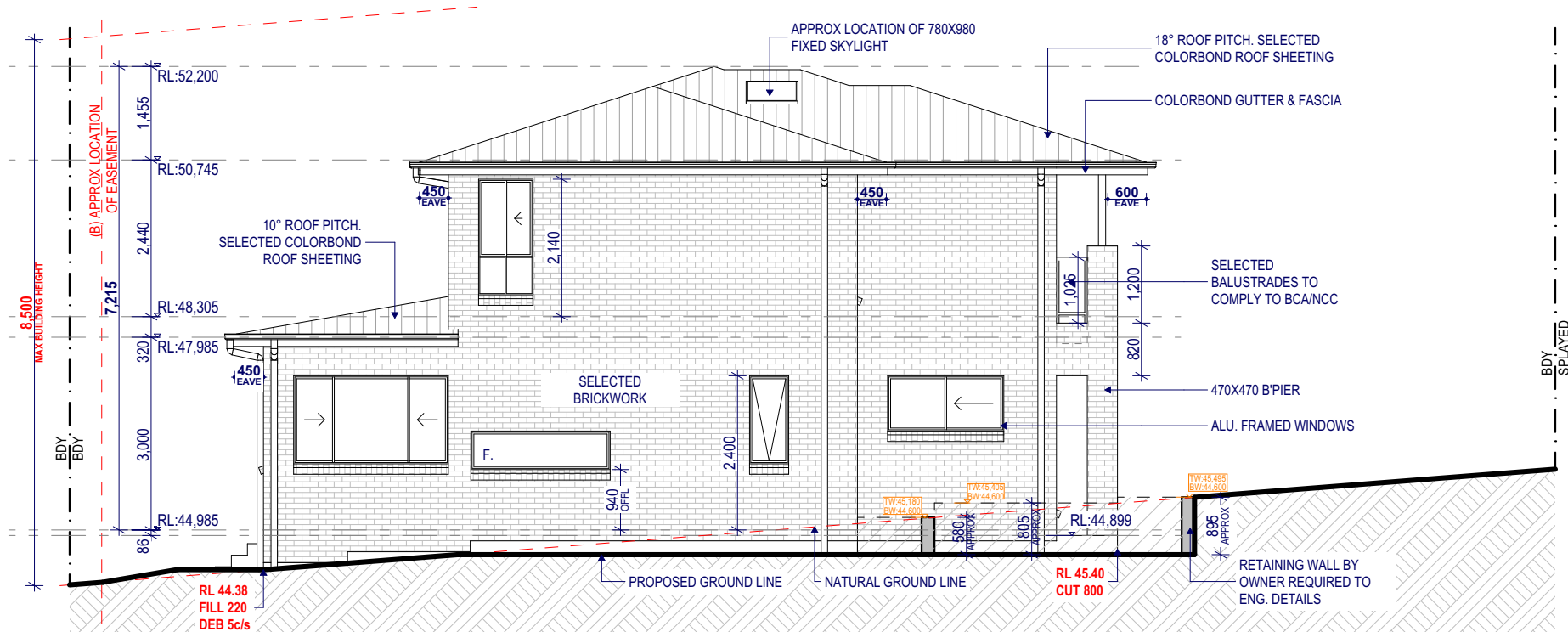
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**E/01 FRONT - SOUTHERN ELEVATION**  
Scale 1:100



**E/02 FRONT - WESTERN ELEVATION**  
Scale 1:100

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**APPROVAL PLANS**

Signed \_\_\_\_\_

Date \_\_\_\_\_



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**DOUBLE STOREY DWELLING**

JOB NUMBER 2135

**Elevations**

CLIENT QIAN

LOCATION  
**LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196**

DP 839687

LGA **CANTERBURY/BANKSTOWN**

LODGEMENT **DA**

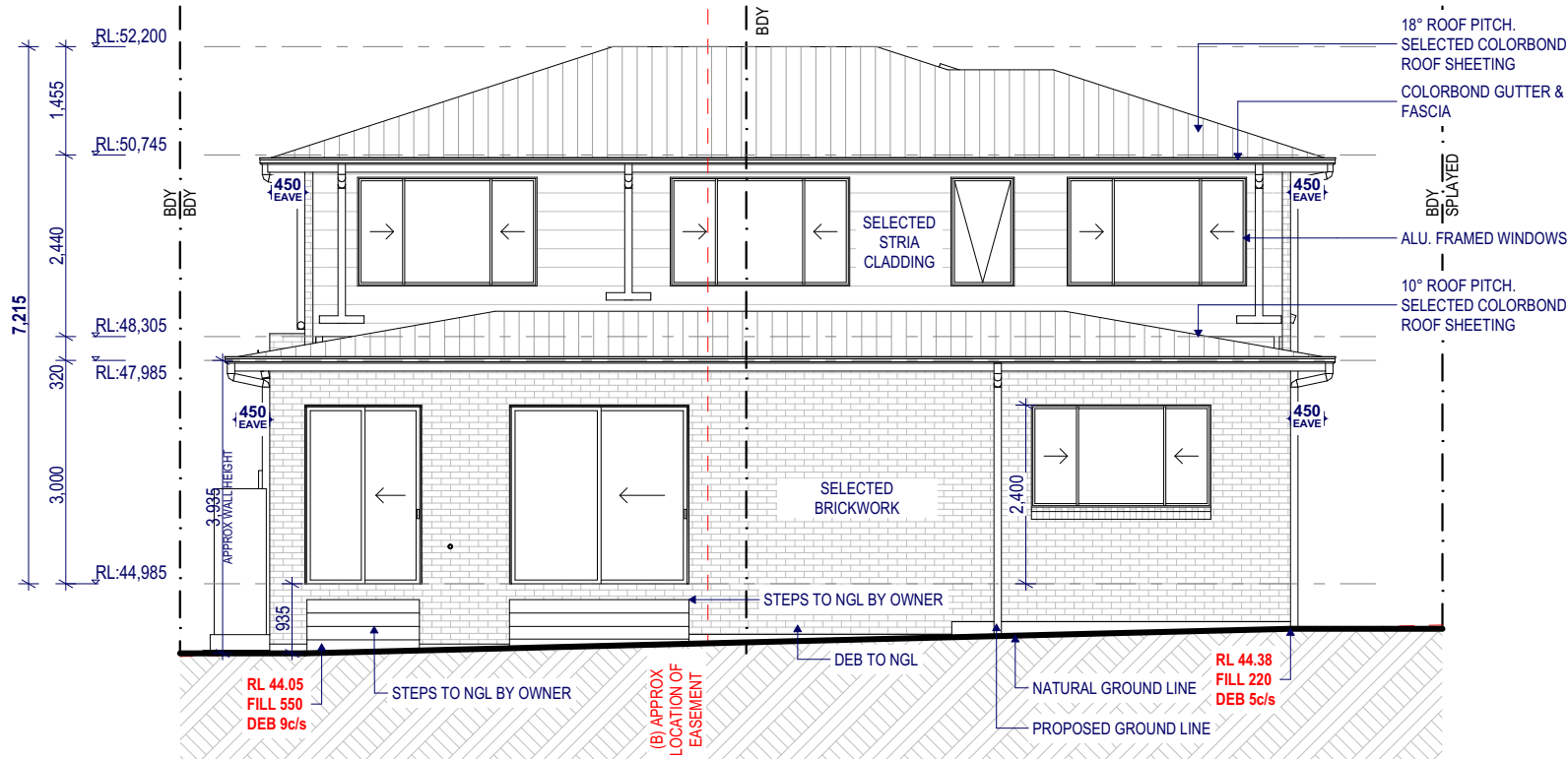
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FACADE: CUSTOM

SHEET NO:  
**APPROVAL- 7**

SCALE:  
1:100 @ A3

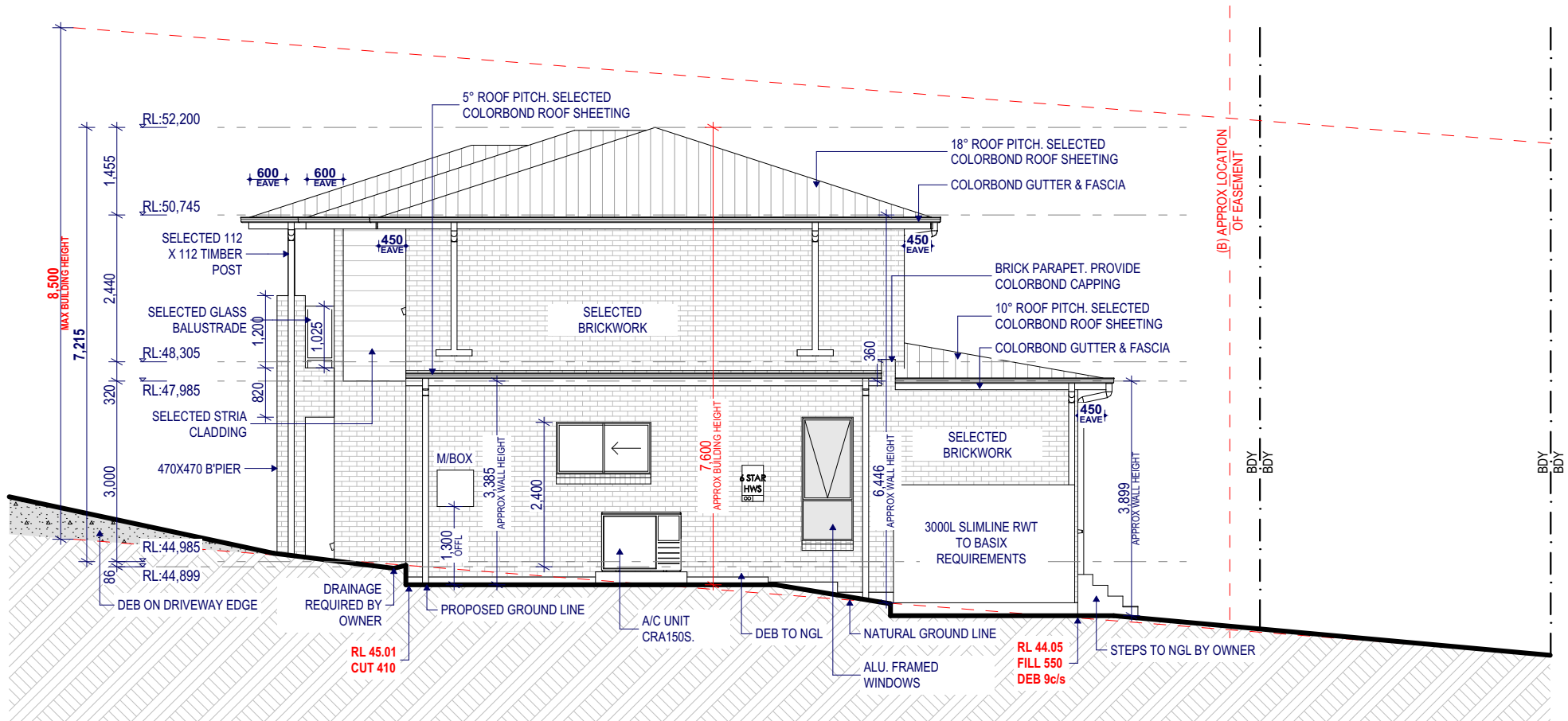
DATE PRINTED  
Wednesday, 12 April 2023





E/03 REAR - NORTHERN ELEVATION

Scale 1:100



E/04 LEFT - EASTERN ELEVATION

Scale 1:100

REVISION - DATE - DESCRIPTION - INITIAL

REV A - 03/08/22 - SALES/SITING PLAN 1 - AP  
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REV B1 - 30/11/22 - CONTRACT PLAN 1/AMENDMENTS - AP  
REV B2 - 08/12/22 - SALES AMENDMENTS - SC  
REV B3 - 19/01/23 - CONTRACT PLAN REV - AP  
REV B4 - 24/01/23 - WINDOW AMENDMENT - AP  
REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

APPROVAL PLANS

Signed \_\_\_\_\_

Date \_\_\_\_\_



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DOUBLE STOREY DWELLING

JOB NUMBER 2135

Elevations

CLIENT QIAN

LOCATION  
LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196

DP 839687

LGA CANTERBURY/BANKSTOWN

LODGEMENT DA

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO:  
**APPROVAL- 8**

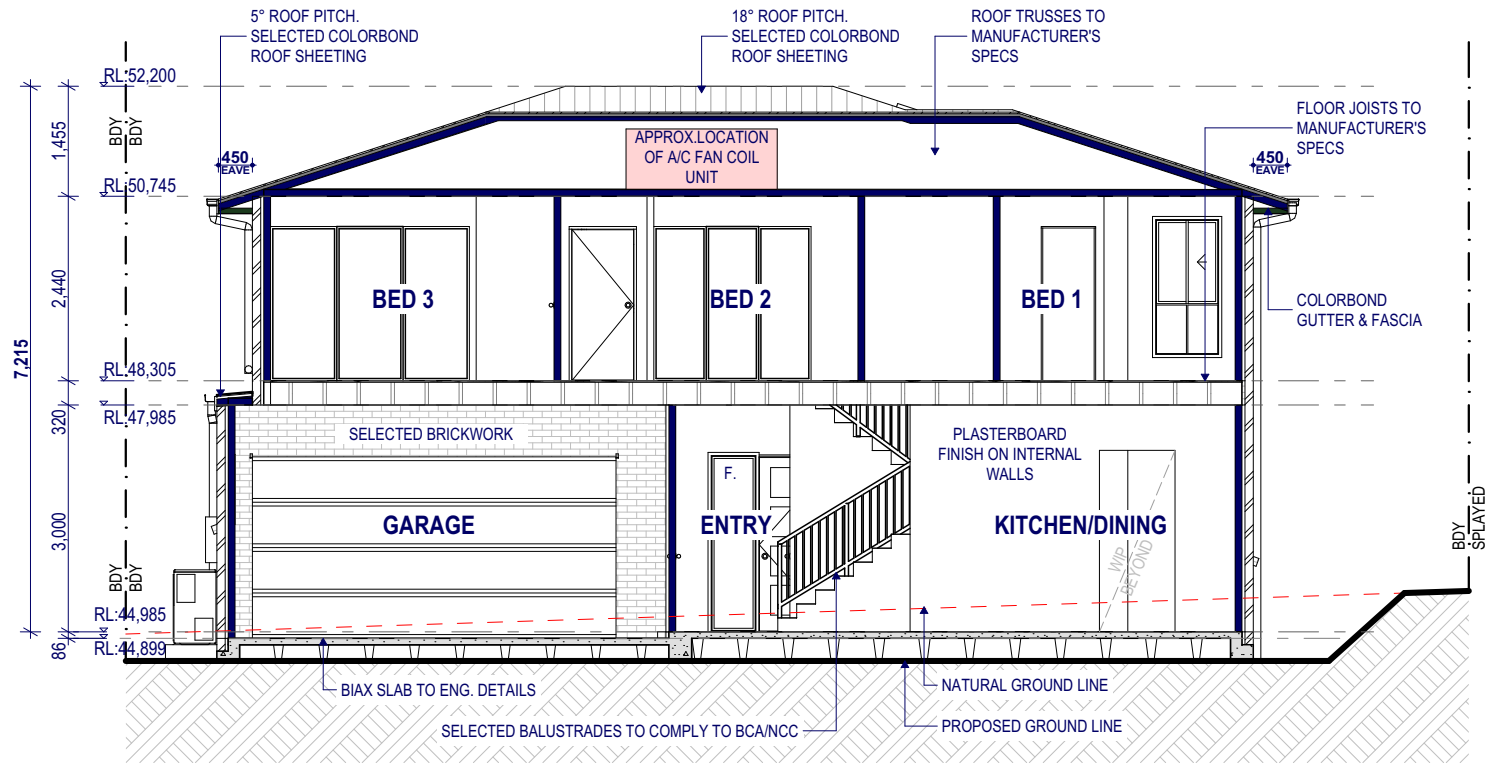
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DATE PRINTED  
Wednesday, 12 April 2023



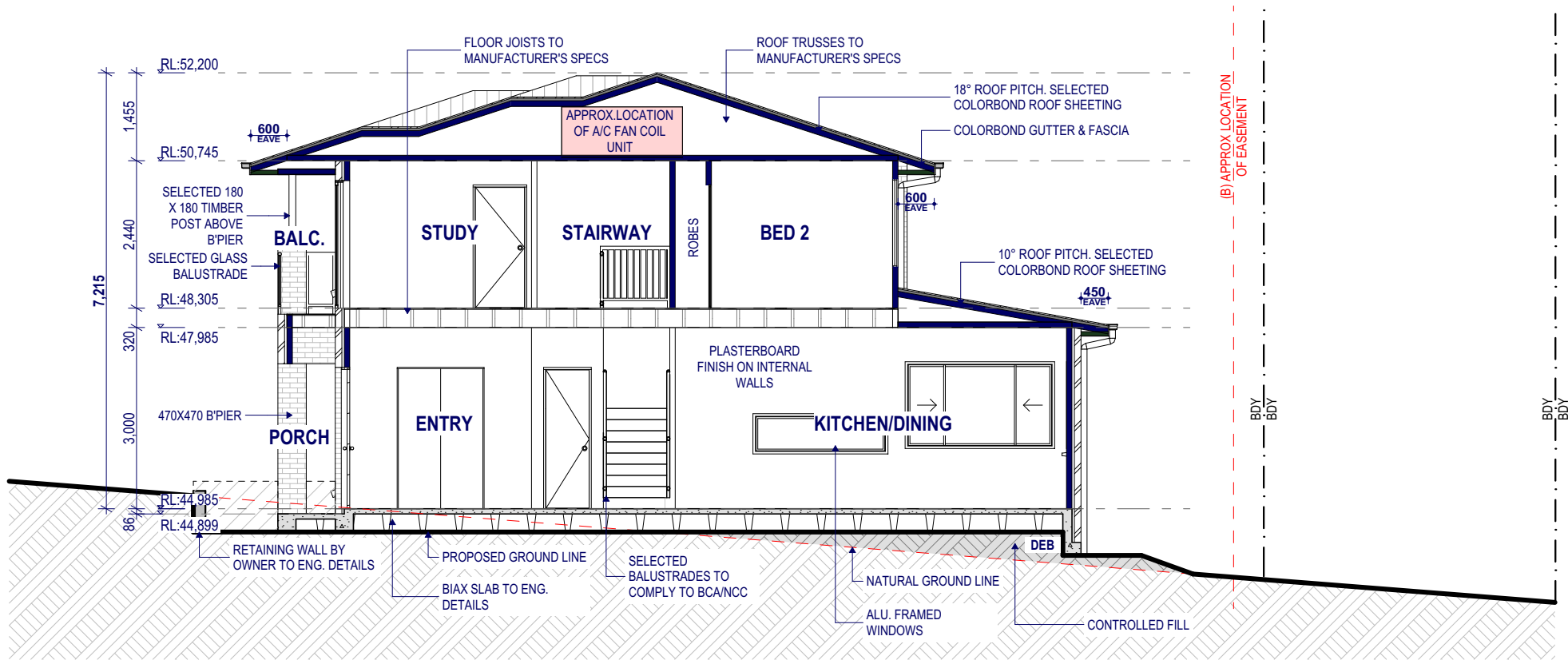
BRICK VENEER & STEEL FRAMED  
CONSTRUCTION

BIAX SLAB



SECTION 01

Scale 1:100



SECTION 02

Scale 1:100

REVISION - DATE - DESCRIPTION - INITIAL

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REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

APPROVAL PLANS

Signed \_\_\_\_\_

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DOUBLE STOREY DWELLING

JOB NUMBER 2135

Sections

CLIENT QIAN

LOCATION  
LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196

DP 839687

LGA CANTERBURY/BANKSTOWN

LODGEMENT DA









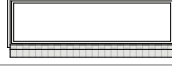



























DESIGN: CUSTOM


FACADE: CUSTOM

SHEET NO:  
**APPROVAL- 9**

SCALE:  
1:100 @ A3

DATE PRINTED  
Wednesday, 12 April 2023

Window Schedule										Door Schedule								
Window No #	Window Code	Front View	Height	Width	Head height	Surface Area	Quantity	Wall Structure	Notes	Door No#	Door Type	Front View	Height	Width	Quantity	Wall Structure	Notes	
W1	AF2306		2,340	610	2,340	1.43	1	Brick Veneer 240mm	SIDELIGHT	D1	HINGED DR		2,340	1,020	1	Brick Veneer 240mm		
W2	AST2027		2,050	2,650	2,400	5.43	1	Brick Veneer 240mm		D2	PANEL LIFT DR		2,400	4,810	1	Brickwork 230mm		
W3	AS0918		860	1,810	2,400	1.56	1	Brick Veneer 240mm		D3	SLIDING DR		2,400	1,570	1	Brick Veneer 240mm	ASDI2416	
W4	AA1406		1,370	610	2,400	0.84	1	Brick Veneer 240mm		D4	SLIDING DR		2,400	2,410	1	Brick Veneer 240mm	ASDI2424	
W5	AF0622		600	2,170	1,540	1.30	1	Brick Veneer 240mm		D5	2x CSD		2,340	1,440	1	Stud Wall 90		
W6	AS1424		1,370	2,410	2,400	3.30	1	Brick Veneer 240mm		D6	HINGED DR		2,340	820	1	Stud Wall 90		
W7	AS1424		1,370	2,410	2,400	3.30	1	Brick Veneer 240mm		D7	HINGED DR		2,340	720	1	Stud Wall 90		
W8	AAT2009		2,050	850	2,400	1.74	1	Brick Veneer 240mm	OBS. GLAZING	D8	SQ SET		2,400	1,000	1	Stud Wall 90		
W9	AS0916		860	1,570	2,400	1.35	1	Brick Veneer 240mm		D9	HINGED DR		2,340	820	1	Stud Wall 90	L.O.H	
W10	AS1216		1,200	1,570	2,140	1.88	1	Brick Veneer 240mm	OBS. GLAZING	D10	HINGED DR		2,340	820	1	Stud Wall 90	L.O.H	
W11	AA1209		1,200	850	2,140	1.02	1	Stud Wall 90		D11	STACKER DR		2,110	2,676	1	Brick Veneer 240mm	ASSD2127	
W12	AST1809		1,800	850	2,140	1.53	1	Brick Veneer 240mm	OBS. GLAZING	D12	HINGED DR		2,040	820	1	Stud Wall 90	L.O.H	
W13	AST1809		1,800	850	2,140	1.53	1	Brick Veneer 240mm		D13	HINGED DR		2,040	820	1	Stud Wall 90		
W14	AST1809		1,800	850	2,140	1.53	1	Brick Veneer 240mm		D14	ROBES DR		2,040	2,630	1	Stud Wall 90		
W15	AS1524		1,460	2,410	2,140	3.52	1	Stud Wall 90		D15	HINGED DR		2,040	820	1	Stud Wall 90		
W16	AA1509		1,460	850	2,140	1.24	1	Stud Wall 90		D16	ROBES DR		2,040	2,080	1	Stud Wall 90		
W17	AS1524		1,460	2,410	2,140	3.52	1	Stud Wall 90		D17	CSD		2,040	720	1	Stud Wall 90		
W18	AS1524		1,460	2,410	2,140	3.52	1	Stud Wall 90		D18	HINGED DR		2,040	820	1	Stud Wall 90		
18										18								



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APPROVAL PLANS

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Date \_\_\_\_\_

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REV B3 - 19/01/23 - CONTRACT PLAN REV - AP

REV B4 - 24/01/23 - WINDOW AMENDMENT - AP

REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

Window / Door Schedule

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 10

SCALE: @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196

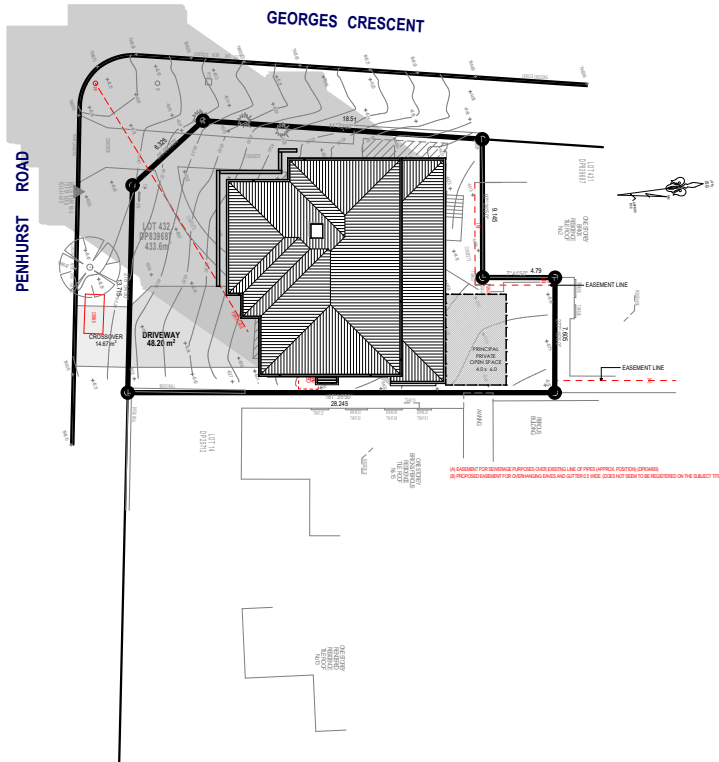
DP 839687

CLIENT QIAN

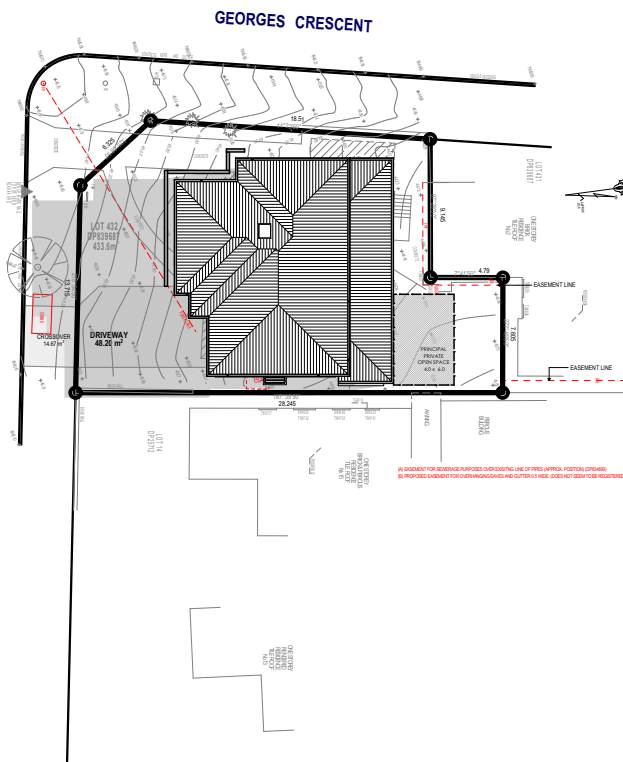
JOB NUMBER 2135

LGA CANTERBURY/BANKSTOWN

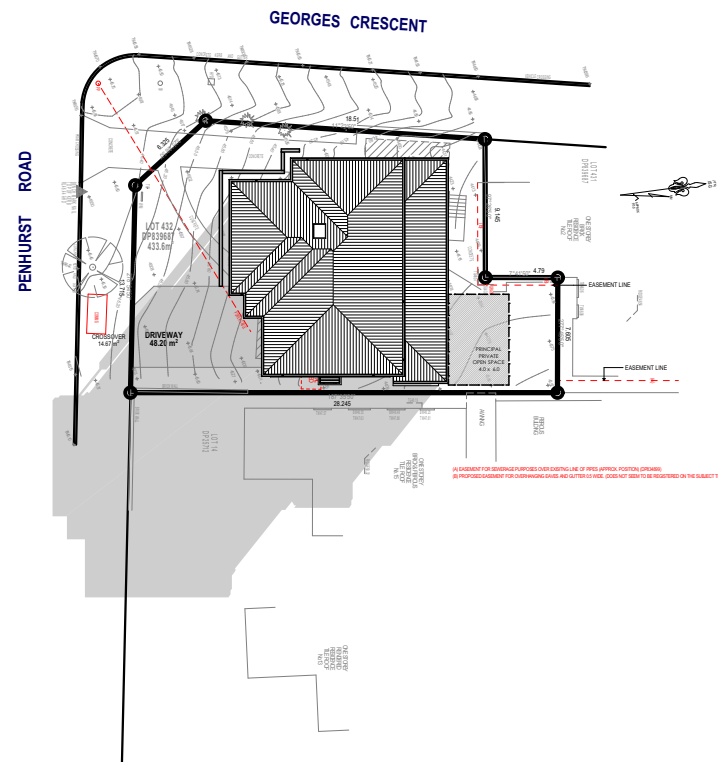
LODGEMENT DA



9AM - 21 JUNE  
Scale 1:500



12PM - 21 JUNE  
Scale 1:500



3PM - 21 JUNE  
Scale 1:500

## 21st JUNE SHADOW DIAGRAMS



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REV B4 - 24/01/23 - WINDOW AMENDMENT - AP  
REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

### Shadow Diagrams

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 11

SCALE: @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD,  
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DP 839687

CLIENT QIAN

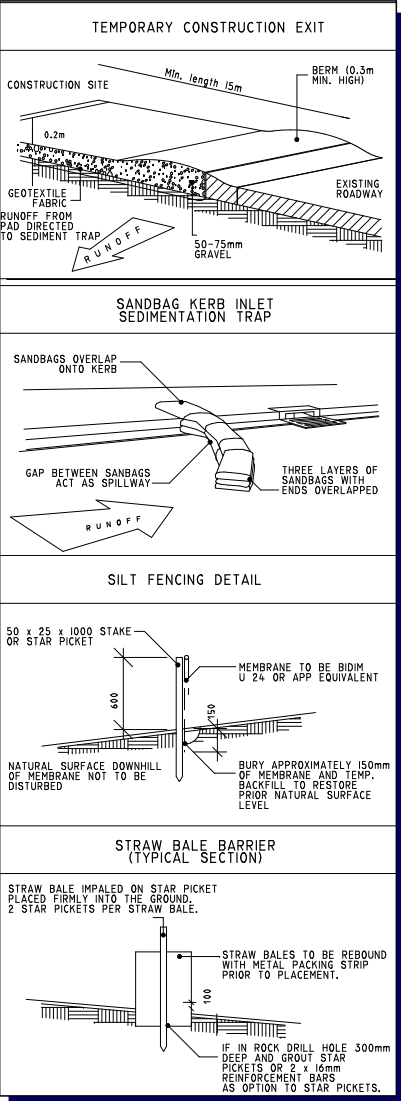
JOB NUMBER 2135

LGA CANTERBURY/BANKSTOWN

LODGEMENT DA







LOT 432, #17 PENHURST ROAD,  
AREA: 433.60m<sup>2</sup>

'H<sub>2</sub>' CLASS SLAB

AS PER SITE CLASSIFICATION REPORT | REF: AWT 74743 | DATED 22/02/23 - REV A

KNOCK-DOWN REBUILD SITE

NATURAL GAS AVAILABLE

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Date \_\_\_\_\_

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REV B4 - 24/01/23 - WINDOW AMENDMENT - AP

REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

Site Management Plan

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 13

SCALE: @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196

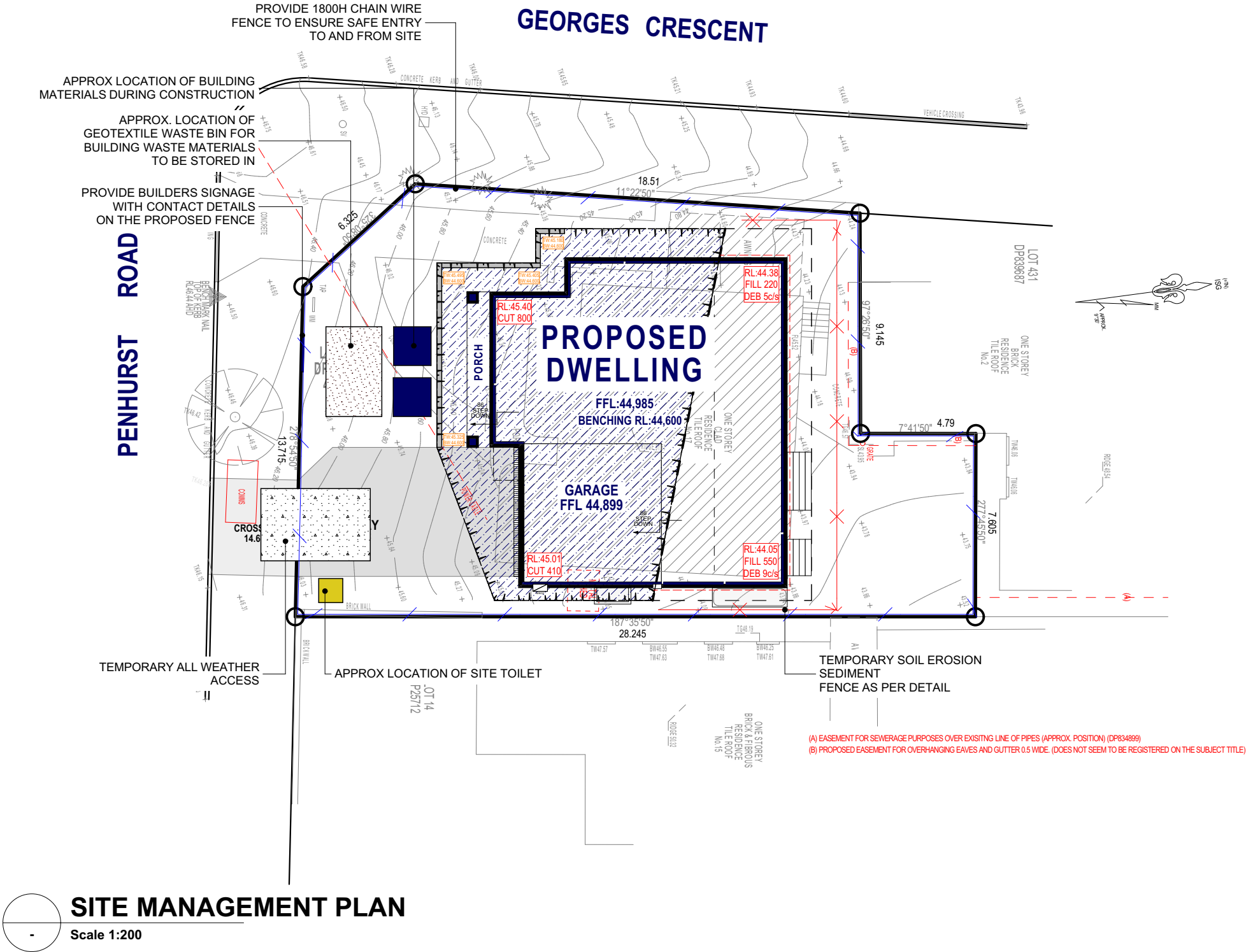
DP 839687

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JOB NUMBER 2135

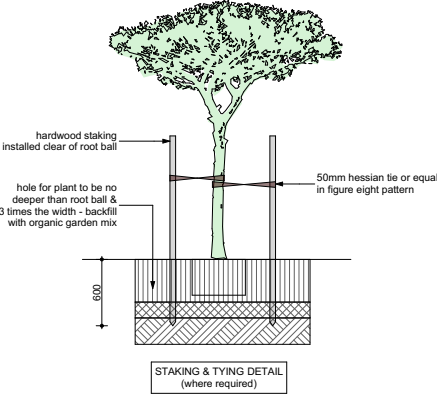
LGA CANTERBURY/BANKSTOWN

LODGEMENT DA



PLANT SCHEDULE

Symbol	Latin Name	Common Name	Mature Height x width	Pot size
	Casuarina Glauca	Swamp Oak	8.30(h) x 3.10(w)	75 Lt.
	Agonis flexuosa Indigo	Black Agonis	3.00(h) x 1.20(w)	14 Lt.
	Danthonia Racemosa	Wallaby Grass	0.50(h) x 0.70(w)	5 Lt.



STAKING & TYING DETAIL (where required)

**GARDEN BED AREAS**  
Ensure that mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Do not excavate within 1500mm of existing trees.  
Supply and install 300mm depth of top soil mix, comprising of one (1) part mushroom compost to three (3) parts top soil. Top soil shall be either imported or from stockpiled site top soil i.e. free of clay.  
Install minimum 75mm depth of organic mulch.

**TURF**  
Turf shall be select species with an even thickness of not less than 30mm.  
Excavate / Grade all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of existing trees. Ensure that all surface water runoff is directed towards inlet pits (if required) and away from dwelling. Rip to a minimum depth of 150mm. Install 80mm depth of imported or on-site stock piled top soil.

**NOTE: ALL LANDSCAPE TO BE DONE BY THE OWNER AFTER HANDOVER UNLESS SPECIFIED OTHERWISE IN THE TENDER DOCUMENTATION**



LOT 432, #17 PENHURST ROAD,  
AREA: 433.60m<sup>2</sup>

'H<sub>2</sub>' CLASS SLAB  
AS PER SITE CLASSIFICATION REPORT | REF: AWT 74743 | DATED 22/02/23 - REV A

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REV A1 - 15/11/22 - SALES AMENDMENTS - AP

REV B1 - 30/11/22 - CONTRACT PLAN 1/AMENDMENTS - AP

REV B2 - 08/12/22 - SALES AMENDMENTS - SC

REV B3 - 19/01/23 - CONTRACT PLAN REV - AP

REV B4 - 24/01/23 - WINDOW AMENDMENT - AP

REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

Landscape Plan

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 14

SCALE: 1:200 @ A3

DATE Wednesday, 12 April 2023

LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196

DP 839687

CLIENT QIAN

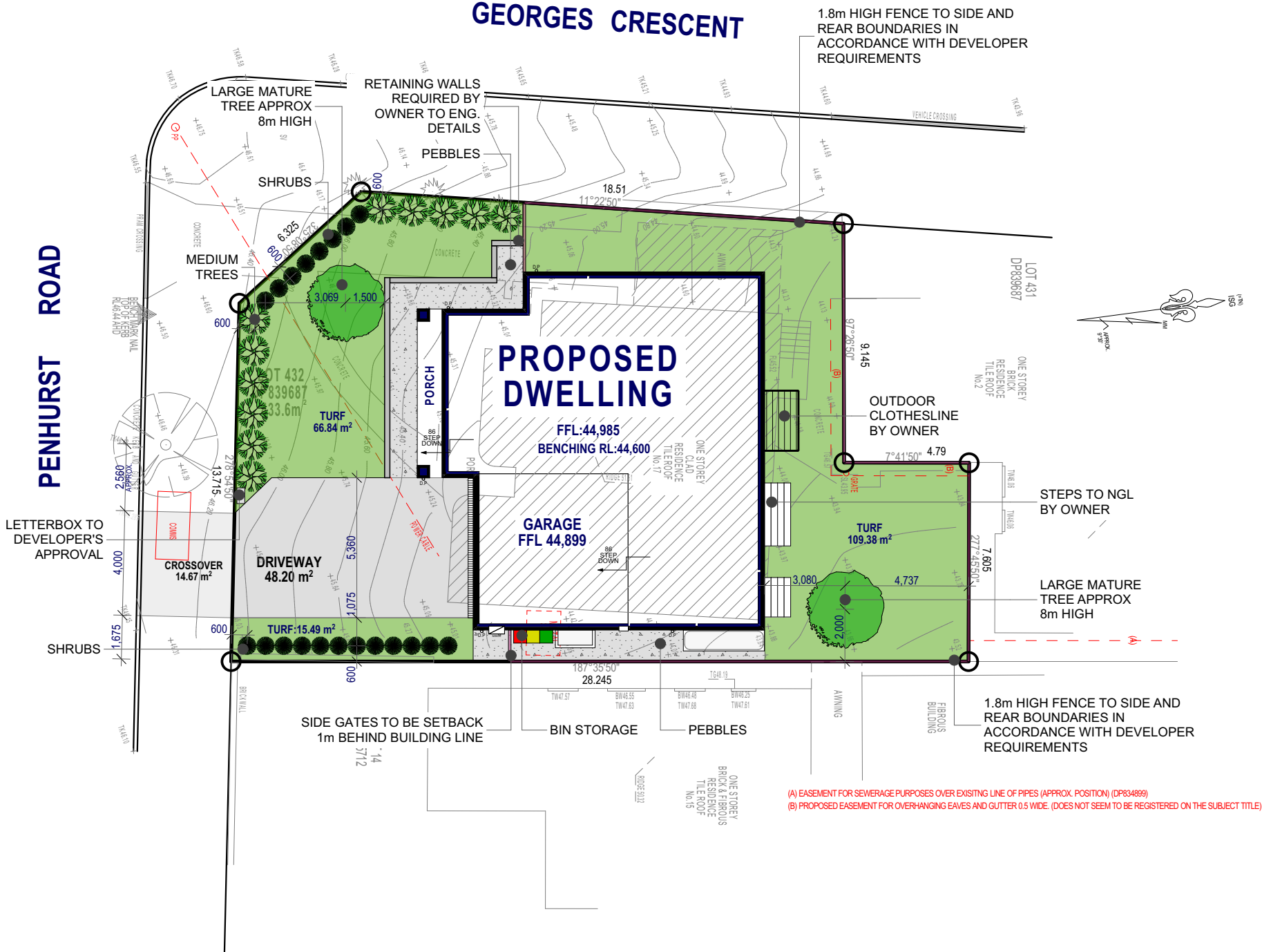
JOB NUMBER 2135

LGA CANTERBURY/BANKSTOWN

LODGEMENT DA

LANDSCAPE PLAN

Scale 1:200





SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

TWO STOREY

OVERLOOKING

PREVAILING WINDS

P

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING




LOT 432, #17 PENHURST ROAD,  
AREA: 433.60m<sup>2</sup>

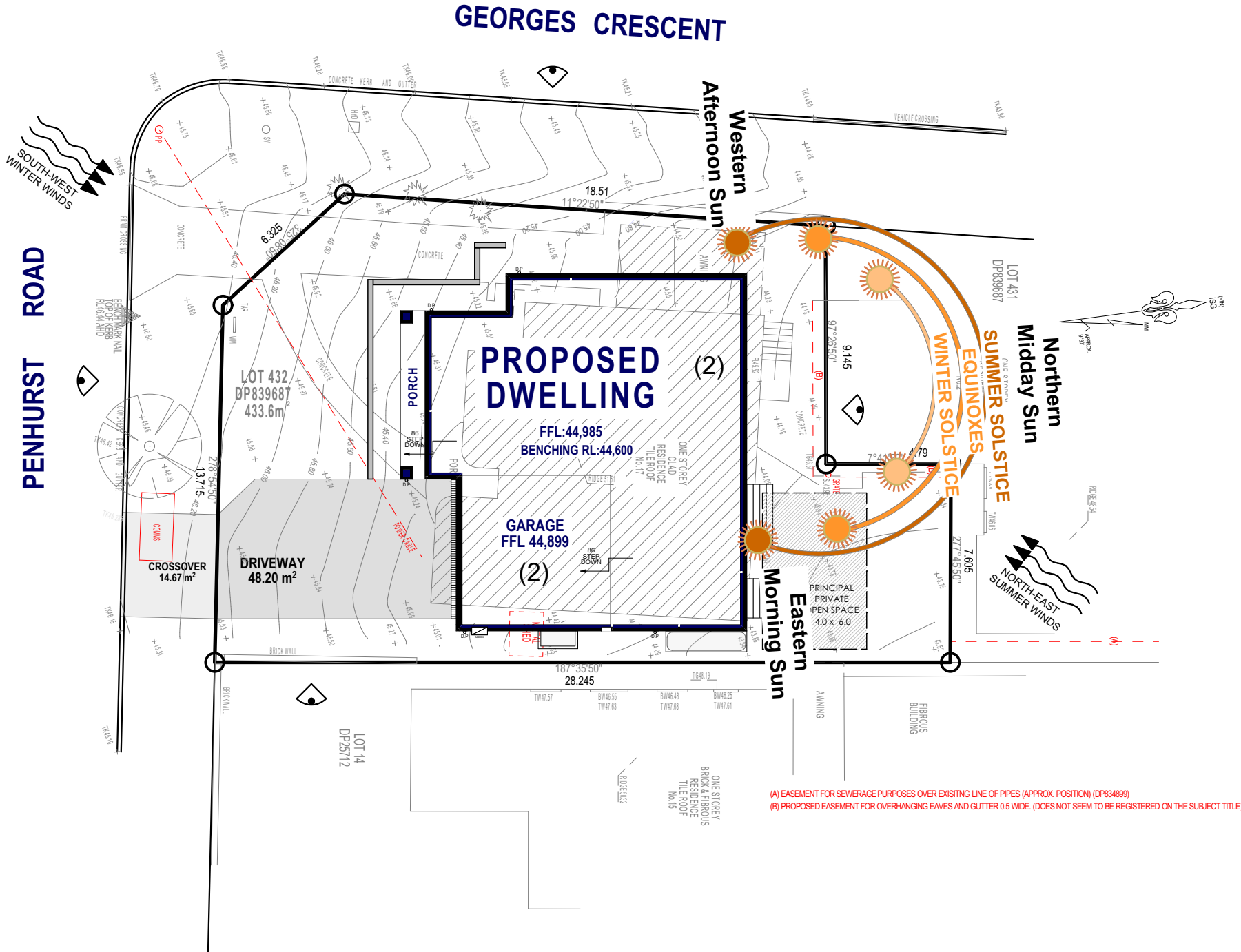
'H<sub>2</sub>' CLASS SLAB

AS PER SITE CLASSIFICATION REPORT | REF: AWT 74743 | DATED 22/02/23 - REV A

KNOCK-DOWN REBUILD SITE

NATURAL GAS AVAILABLE

<div>FAIRMONT HOMES NSW</div> <div>fairmontnsw.com.au</div> <div>1/79 Lasso Road, Gregory Hills NSW 2557</div> <div>02 4601 1981</div>	APPROVAL PLANS		GENERAL BUILDING NOTES		REVISION - DATE - DESCRIPTION - INITIAL		Site Analysis Plan		LOCATION LOT 432, #17 PENHURST ROAD, ROSELANDS. NSW, 2196	
	Signed _____		<div>1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.</div> <div>2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.</div> <div>3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.</div> <div>5. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.</div> <div>6. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.</div> <div>7. IF ENGINEER DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>8. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.</div> <div>9. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.</div> <div>10. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT AUSTRALIAN CONSTRUCTION CODE AND THE AUSTRALIAN STANDARDS.</div> <div>11. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY.</div>		<div>REV A - 03/08/22 - SALES/SITING PLAN 1 - AP</div> <div>REV A1 - 15/11/22 - SALES AMENDMENTS - AP</div> <div>REV B1 - 30/11/22 - CONTRACT PLAN 1/AMENDMENTS - AP</div> <div>REV B2 - 08/12/22 - SALES AMENDMENTS - SC</div> <div>REV B3 - 19/01/23 - CONTRACT PLAN REV - AP</div> <div>REV B4 - 24/01/23 - WINDOW AMENDMENT - AP</div> <div>REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP</div>		<div>DESIGN: CUSTOM</div> <div>FACADE: CUSTOM</div> <div>SHEET NO: APPROVAL- 15</div> <div>SCALE: 1:200 @ A3</div> <div>DATE      Wednesday, 12 April 2023</div>		<div>DP      839687</div> <div>CLIENT      QIAN</div> <div>JOB NUMBER      2135</div> <div>LGA      CANTERBURY/BANKSTOWN</div> <div>LODGEMENT      DA</div>	
	Date _____									
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**SITE ANALYSIS PLAN**  
Scale 1:200



## BASIX® commitments

Assessor	Mr. Daniel Warda
Date	24 / 03 / 23
BASIX Certificate No.	1382362S_02
NatHERS Certificate No.	0008521239

## Project details

Site Address	Lot 432, 17 Penthurst Road, Roselands NSW 2196
Municipality	Canterbury-Bankstown
Reference	2135

## Thermal Comfort

Floors	300mm Waffle pod slab
Ceiling Between Floors	N/A
External Walls	R2.0 Bulk Insulation to all external walls   Light
Internal Walls	R2.0 Bulk Insulation to internal garage walls
Ceilings	R3.0 Bulk Insulation to all trussed ceilings over living areas
Roof	Colorbond   Dark
Roof Insulation	Anticon

### Windows:

Wideline Awning Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.5	SHGC: 0.63
Wideline Fixed Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.5	SHGC: 0.63
Wideline Sliding Windows (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.4	SHGC: 0.76
Wideline Sliding Door (Aluminium Framed - Standard Clear Glazed)	U-Value: 6.3	SHGC: 0.72

\*Refer to NatHERs Certificate for location and dimensions of windows.

Skylights	Velux Skylight to Stairs
-----------	--------------------------

Water		Energy	
Landscape Area	147m²	Hot Water	Gas Instantaneous   6 star
W.C's	3 star	Air-Con (Heating)	1-Phase Ducted A/C   3.5 - 4.0
Kitchen Taps	3 star	Air-Con (Cooling)	1-Phase Ducted A/C   3.0 - 3.5
Shower Heads	3 star (> 7.5 but <= 9 L/min)	Ventilation	As Per Basix Assessment
Basin Taps	3 star	PV System	N/A
Alternative Water	3000L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Water to Tank	60m²	Drying	Indoor & Outdoor Clothesline
Alt. Water Uses	Garden Tap, Laundry & WC	Lighting	Dedicated LED

Phone: 0488 203 606

Email: giuseppe@energiassessments.com.au

ABN: 77 614 736 284

### REVISION - DATE - DESCRIPTION - INITIAL

REV A - 03/08/22 - SALES/SITING PLAN 1 - AP  
REV A1 - 15/11/22 - SALES AMENDMENTS - AP  
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REV B4 - 24/01/23 - WINDOW AMENDMENT - AP  
REV C1 - 12/04/23 - APPROVAL PLANS 1 - AP

### APPROVAL PLANS

Signed \_\_\_\_\_

Date \_\_\_\_\_



fairmontnsw.com.au  
1/79 Lasso Road, Gregory Hills NSW 2557  
02 4601 1981

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### GENERAL BUILDING NOTES

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- IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY.

### DOUBLE STOREY DWELLING

JOB NUMBER 2135

## BASIX

CLIENT QIAN

LOCATION  
**LOT 432, #17 PENHURST ROAD,  
ROSELANDS. NSW, 2196**

DP 839687

LGA **CANTERBURY/BANKSTOWN**

LODGEMENT **DA**

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: **APPROVAL- 16**  
SCALE: @ A3

DATE PRINTED  
Wednesday, 12 April 2023